GENERAL NOTES:

- FIRST FLOOR: 10'-0" PLATE AND CEILING HEIGHTS---UNLESS OTHERWISE NOTED.
- SECOND FLOOR: 9'-0" PLATE AND CEILING HEIGHTS---UNLESS OTHERWISE NOTED.
- ALL WINDOW HEAD HEIGHTS @ 8'-0" UNLESS OTHERWISE NOTED.
- 2x 6EXTERIOR AND 2x4 INTERIOR WALL CONSTRUCTION---UNLESS OTHERWISE NOTED.
- NOTED WINDOW SIZES ARE: JELD-WEN BRAND, VERIFY WITH BUILDER & OWNERS.
- VERIFY ALL FLOOR FINISHES PRIOR TO CONSTRUCTION.
- VERIFY ALL NOTED OPTIONS PRIOR TO CONSTRUCTION.
- REFER TO BUILDER / HOMEOWNER'S SPECIFICATIONS FOR ALL OTHER CONSTRUCTION AND FINISH DETAIL INFORMATION NOT FOUND ON THESE PLANS.
- ALL BEDROOM WINDOWS MUST MEET EGRESS REQUIREMENTS AS PER LOCAL CODE REQUIREMENTS. CONFIRM WITH WINDOW MANUFACTURER.
- WINDOWS AND GLASS AT SHOWERS, TUBS, STAIRWAYS, GLASS DOORS, WINDOWS ADJACENT TO DOORS, AND ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR MUST BE TEMPERED. CONFIRM WITH WINDOW MANUFACTURER.
- ALL INTERIOR AND EXTERIOR GUARD & HAND RAILS MUST MEET LOCAL CODE REQUIREMENTS---CONFIRM WITH LOCAL BUILDING OFFICIALS. MRC 2015 R301.5
- THESE PLANS DO NOT NOR CANNOT FULLY DETAIL AND DEPICT EVERY ASPECT OF THIS BUILDING CONSTRUCTI ON. BUILDER MUST ADHERE TO ALL PERTINENT BUILDING CODES - MRC 2015

-
ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED FROM UNAUTHORIZED ENTRY. ALL EXCAVATIONS EXCEEDING 24 INCHES IN DEPTH, SUCH AS FOR BASEMENTS, CRAWL SPACES, POOLS AND SPAS MUST BE SECURED THROUGH THE USE OF A 4' HIGH FENCE. CONSTRUCTION TYPE FENCING WILL BE ALLOWED FOR A PERIOD NOT TO EXCEED 30 DAYS. AT SUCH TIMES, SHOULD THE PERMITTED WORK STILL PHYSICALLY BE UNABLE TO BE PROTECTED AND SECURED, A CHAIN LINK FENCE IS REQUIRED TO BE INSTALLED AND MUST REMAIN IN PLACE UNTIL ITS REMOVAL HAS BEEN AUTHORIZED BY THE BUILDING OFFICIAL. ALL AS PER MRC 2015 R104.1 AND MBC 2015 CHAPTER 55.
- ALL SHOWN DETAILS AND CONSTRUCTION NOTES MAY VARY DEPENDING UPON SPECIFIC CONDITIONS AND APPLICATIONS. ALSO, BUILDERS AND LOCAL BUILDING INSPECTORS MAY REQUIRE ADDITIONAL OR ALTER DETAILS AND NOTES AS PER LOCAL RESIDENTIAL BUILDING REQUIREMENTS. THIS DETAIL SHEET INTENDS TO BE IN COMPLIANCE WITH THE YEAR 2015 MICHIGAN RESIDENTIAL BUILDING CODE BOOK. COMPLETE SCOPE OF WORK FOR ALL PHASES OF CONSTRUCTION MUST CONFORM TO MINIMUM OF MICHIGAN RESIDENTIAL CODE 2015.
- 110V INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO BE INSTALLED AND LOCATED AS PER MRC 2015 R315 & R314
- ALL WINDOW & DOORS TO BE IN COMPLIANCE WITH MRC 2015 REQUIREMENTS.

CONTRACTOR NOTES:

- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ACCURACY OF FIELD MEASUREMENTS AND CONDITIONS AND SHALL BE RESPONSIBLE FOR THE PROPER ADAPTING OF HIS / HER WORK TO ANY EXISTING WORK OR PREVIOUSLY INSTALLED WORK OF OTHER TRADES. ALL MEASUREMENTS SHALL BE CHECKED AT JOB SITE. BEFORE ANY CHANGES ARE MADE, CONSULT ARCHITECT FOR APPROVAL.
- THE EXECUTION AND CONFORMANCE OF WORK IN ACCORDANCE WITH THESE PLANS, AND ANY DEVIATIONS OR OMISSIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND CITY LAWS, ORDINANCES, RULES AND REGULATIONS. THE CONTRACTOR SHALL FILE ALL NECESSARY APPLICATIONS AND PAY FOR AND OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL PERTAINING TO THE CONSTRUCTION OF THIS BUILDING.
- ALL MATERIALS USED BY CONTRACTOR AND TRADES SHALL COMPLY WITH ALL CODES AND, REGULATIONS, UL RATINGS, AND ORDINANCES.

ENERGY CODE COMPLIANCE:

- THESE PLANS MEET 2015 MICHIGAN UNIFORM ENERGY CODE (MUEC) AND BUILDER TO PROVIDE, AS REQUIRED OR NEEDED - ALL SPECIFICATIONS OF INSULATING MATERIALS, MECHANICAL SYSTEM DESIGN CRITERIA, ETC. ALL AS PER MUEC 2015 R103.2
- THE COMPLIANCE PATH CHOSEN FOR MUEC 2015 WILL BE PRESCRIPTIVE PATH& APPROACH AND THIS HOUSE MEETS THIS CRITERIA.
- IF BUILDING DEPARTMENT REQUESTS, A HEAT PLAN WILL BE PROVIDED AS PER AGREEMENT BETWEEN GREG STAFFORD & ASSOCIATES AND BUILDER OR OWNERS.

PRESCRIPTIVE APPROACH

MIN. INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT BY CLIMATE ZONE 5A

FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WD.FRAME WALL R-VALUE	MASS WALL R-VALUE
0.35	0.60	38	20 OR 15 + 5	15/17
FLOOR R-VALUE	BASEMENT B WAL R-VALUE	SLAB . WALL R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE	
30 D	10/13	10 AT 2 FT.	10/15	

- THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS.
- THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND FRAMING CAVITY INSULATION, EITHER INSULATION MEETS REQUIREMENTS.
- R-5 SHALL ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS, IN ZONES 1-3 FOR HEATED SLABS.
- OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
- "13+15" MEANS R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING. STRUCTURAL SHEATHING COVERS MORE THAN 25% OF EXTERIOR, STRUCTURE SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R-2.
- THE SECOND R- VALUE APPLIES WHERE MORE THAN HALF THE INSULATION IS ON THE INTERIOR.
- AIR LEAKAGE TEST WILL BE DONE AS PER MEUC 2015 SEC R402.4.

PRE-FABRICATED TRUSS NOTES:

- PRE-FABRICATED WOOD TRUSSES TO BE DESIGNED BY THE MANUFACTURER TO WITHSTAND LIVE AND DEAD LOADS AS REQUIRED BY THE STANDING BUILDING CODE. BRACE ALL TRUSSES BOTH DURING CONSTRUCTION AND PERMANENTLY.
- WOOD TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AND FABRICATED IN CONFORMANCE WITH THE "QUALITY CONTROL MANUAL" BY TRUSS PLATE INSTITUTE (TPI).
- FOR TRUSS DESIGN, CALCULATIONS ANCHORAGE DETAILS AND FINAL TRUSS PLAN LAYOUT.
  SEE CONSTRUCTION SHOP DRAWINGS SUPPLIED BY TRUSS MANUFACTURER.

MECHANICAL NOTES:

- IF REQUIRED: DIAGRAMS AND DRAWINGS TO BE PROVIDED BY BUILDING CONTRACTOR'S H.V.A.C. MECHANICAL CONTRACTOR IF AGREED UPON WITH OWNERS AND / OR ARCHITECT.
- H.V.A.C. CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL HEATING AND AIR CONDITIONING SYSTEM COMPONENTS IN ACCORDANCE WITH STATE AND LOCAL CODES AS WELL AS NATIONAL FIRE PROTECTION ASSOCIATION REGULATIONS. MANUFACTURER'S INSTRUCTIONS SHALL ALSO BE FOLLOWED.
- ALL WORK MUST BE DONE IN ACCORDANCE WITH THE LATEST NATIONAL MECHANICAL CODE AND ALL APPLICABLE LOCAL CODES.

PLUMBING NOTES:

- ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD PLUMBING CODE (LATEST EDITION) AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- DRAWINGS ARE DIAGRAMMATIC AND THE OMISSION OF ANY ITEM NECESSARY FOR THE PROPER INSTALLATION AND/OR FUNCTIONING OF THE SYSTEM SHALL NOT RELIEVE THE PLUMBING CONTRACTOR FROM PROVIDING SAME.

FOUNDATION NOTES:

- CONCRETE FOOTINGS ARE DESIGNED FOR A 2,500 POUND PER SQUARE FOOT BEARING CAPACITY. VERIFICATION OF CONC. FOOTING CAPACITY IS RECOMMENDED BY CONSULTING A STRUCTURAL ENGINEER. SOIL TESTING IS REQUIRED FOR AN ACCURATE COMPUTATION AND IS THE RESPONSIBILITY OF BUILDER / OWNER.
- ALL CONCRETE FOOTINGS TO COMPLY WITH THE YEAR 2015 MICHIGAN RESIDENTIAL BUILDING CODE

FRAMING NOTES:

- DOUBLE FLOOR JOISTS BELOW ALL PARTITIONS ABOVE THAT ARE PARALLEL TO JOISTS SPANS AND INSTALL LADDER FRAMING WHERE NECESSARY.
- ALL HEADERS - IF NOT NOTED OTHERWISE - TO BE MINIMUM (2) 2 x 8's.
- PROVIDE AND ENSURE SOLID / CONTINUOUS BEARING BENEATH ALL POINT LOAD TO FOUNDATION, I.E. - STEEL BEAMS, BASEMENT WALLS, CONC. FTGS, WOOD HEADERS, ETC.
- PROVIDE STEEL LINTELS AND NECESSARY STRUCTURAL SUPPORT FOR SUCH STEEL LINTELS FOR ALL MASONRY FINISH (BRICK, STONE, ETC.) ABOVE DOOR WINDOWS, ROOFS, ETC.
- USE NOTED DIMENSIONS - DO NOT HAND SCALE!
- SEE CODE R602 FOR ALL SPECIFICATIONS FOR FASTENERS, CONNECTORS, NAILING.
- HANGER NAILING AND FASTENER SCHEDULE AS PER MANUFACTURER'S SPECS.
- INSTALL HURRICANE CLIPS THROUGHOUT AS PER MRC R802.11.1
- BRACED WALL PANELS WHERE NOTED OR REQUIRED AS PER MRC 2015 R- 6

ELECTRICAL NOTES:

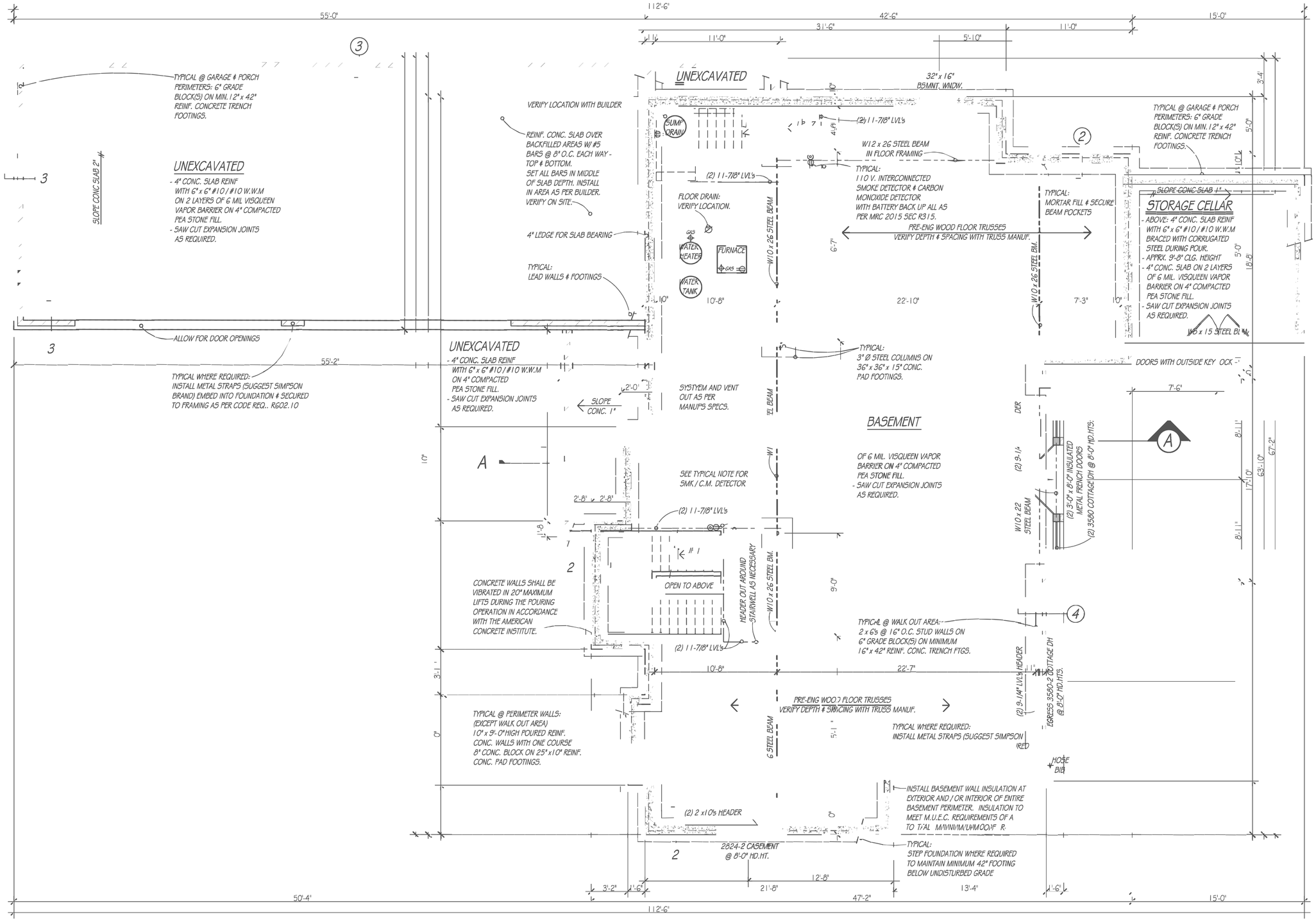
- THESE PLANS DO NOT SHOW EVERY DETAIL OF ELECTRICAL CONSTRUCTION. THE ELECTRICAL CONTRACTOR (E.C.) IS EXPECTED TO THOROUGHLY REVIEW THE PLANS AND REQUIREMENTS OF THE SYSTEM AND PROVIDE ALL ITEMS NECESSARY FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM IN CONFORMANCE WITH THE PLANS. LOCATIONS AND SIZE OF LOADS ARE TO BE CHECKED BY THE LOCAL ELECTRICAL INSPECTOR AND MAKE ADJUSTMENTS ACCORDINGLY.
- CIRCUITS AND LIGHTING FIXTURES ARE SHOWN ON THE PLANS TO DETERMINE LOAD DATA, CIRCUIT, FEEDER, PANEL AND SERVICE SIZES. THE E.C. SHALL PROVIDE CIRCUITS AND CIRCUIT ROUTING TO SUIT JOB CONDITIONS AND FURNISH AND INSTALL LIGHTING FIXTURES AS SHOWN ON THE PLANS OR AS OTHERWISE APPROVED BY THE BUILDER / HOMEOWNER.
- VERIFY LOCATION OF ALL TELEPHONE, TELEVISION, SMART HOUSE SYSTEMS, AND COMPUTER NETWORK OUTLETS WITH BUILDER / HOMEOWNER.
- VERIFY LOCATION, IF ANY, OF ADDITIONAL EXTERIOR FLOOD LIGHTING, GROUND & UP LIGHTING, SECURITY SYSTEM, INTERCOM, STEREO SYSTEM, DOOR CHIMES, AND ANY ELECTRICAL WIRING FOR SWIMMING POOL OR SPA WITH BUILDER / HOMEOWNER.
- ARC FAULT PROTECTION IS REQUIRED ON BRANCH CIRCUITS SERVING SLEEPING ROOMS AS PER CODE REQUIREMENTS. (E3902.11)
- ELECTRICAL HOUSE GROUNDING BONDED WITH STEEL REINFORCING IN CONCRETE BASEMENT WALLS AS PER CODE. (E3608.1.2)

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

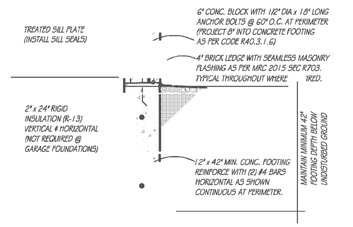
SQUARE FOOTAGE

FIRST FLOOR	2329
SECOND FLOOR	2359
TOTAL LIVING	4688
BASEMENT	2632
GARAGE	1267
FINISHED BASEMENT	1625
COVERED PORCHES	343
SUN DECK	228



BASEMENT FOUNDATION PLAN

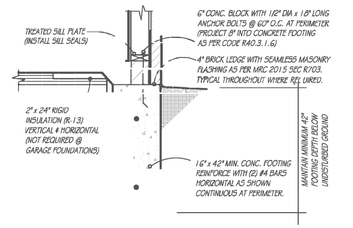
SCALE: 1/4" = 1'-0"



FOOTING 3

SCALE: 1/2" = 1'-0"

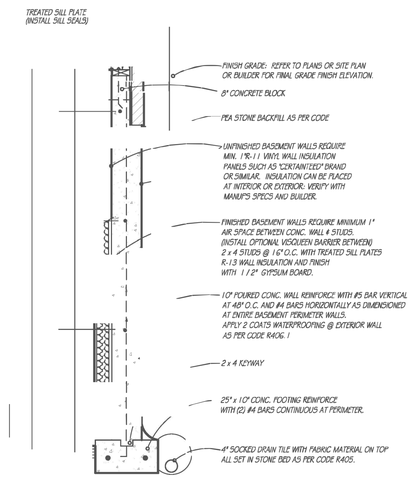
CONDITIONS & DETAILS MAY VARY



FOOTING 4

SCALE: 1/2" = 1'-0"

CONDITIONS & DETAILS MAY VARY

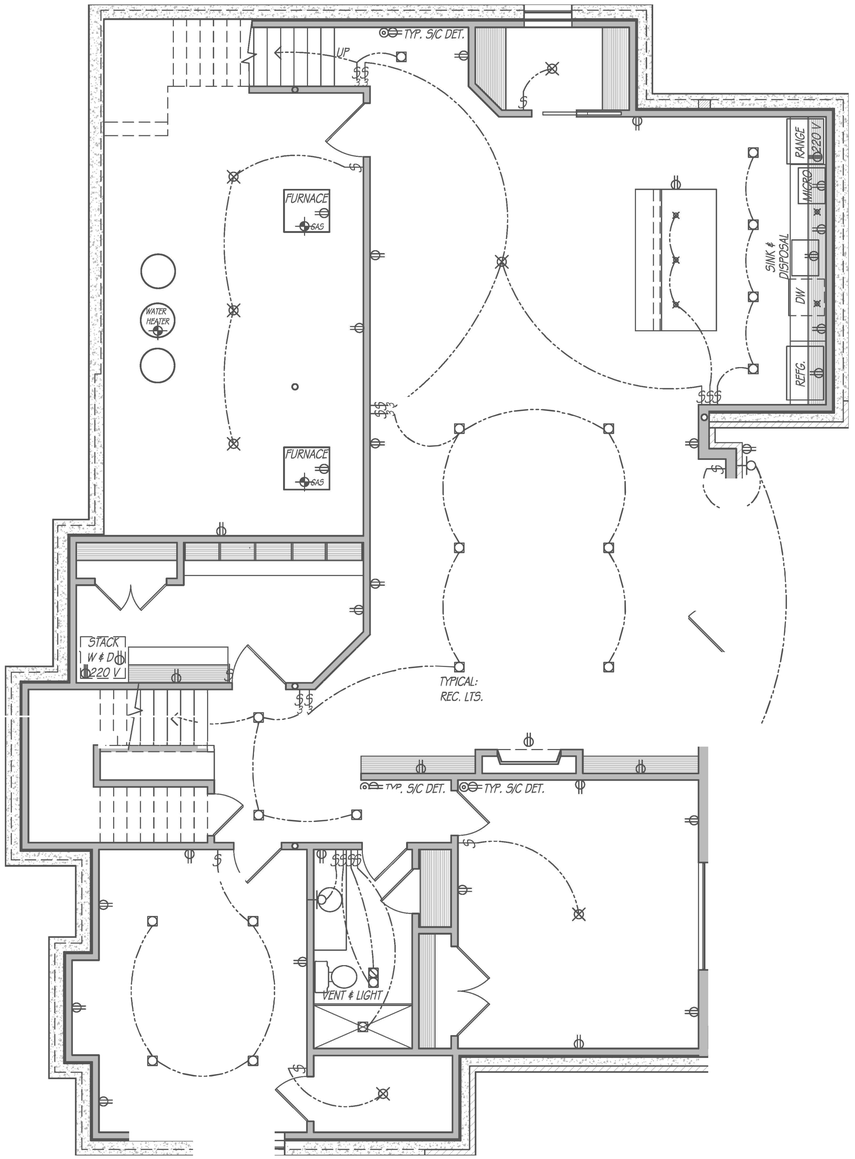


BASEMENT WALL 2

SCALE: 1/2" = 1'-0"

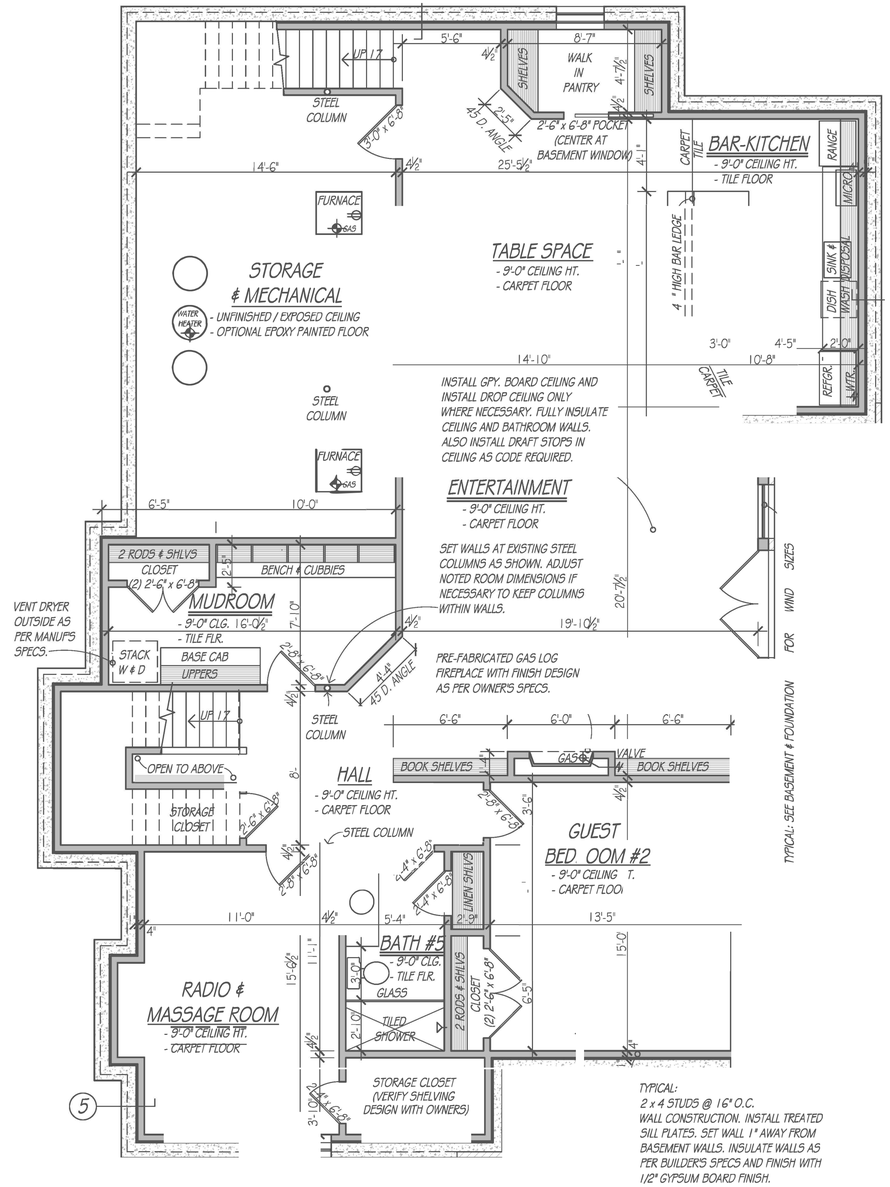
CONDITIONS & DETAILS MAY VARY

FOR CONSTRUCTION



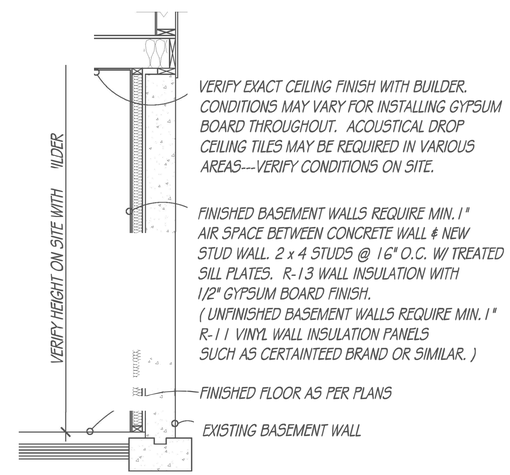
LOWER LEVEL ELECTRICAL

SCALE: 1/4" = 1'-0"



FINISHED LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"



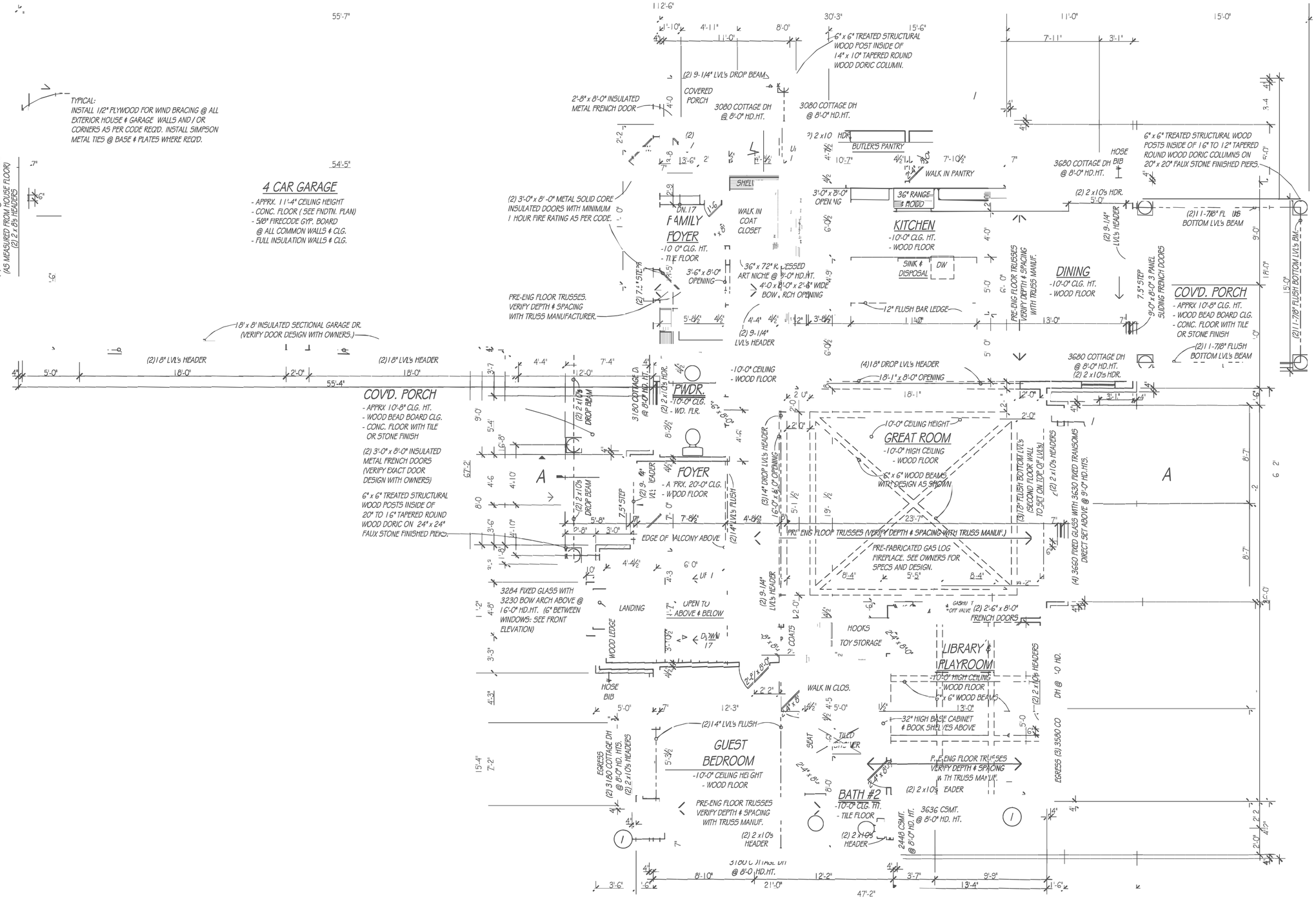
WALL SECTION

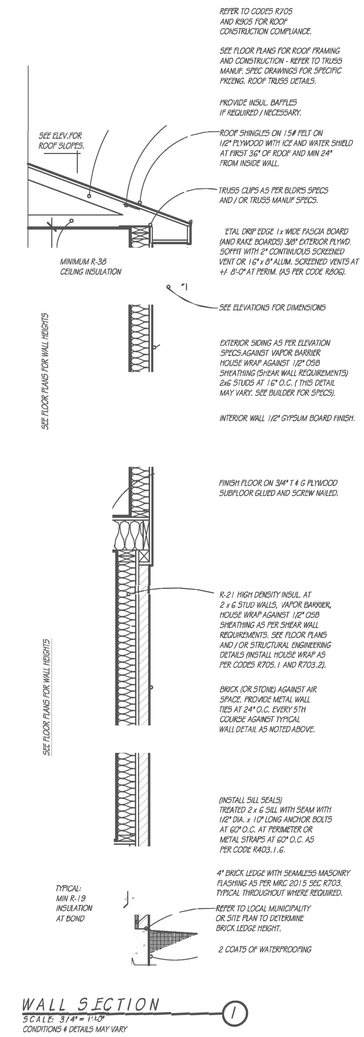
SCALE: 1/2" = 1'-0"

CONDITIONS & DETAILS MAY VARY

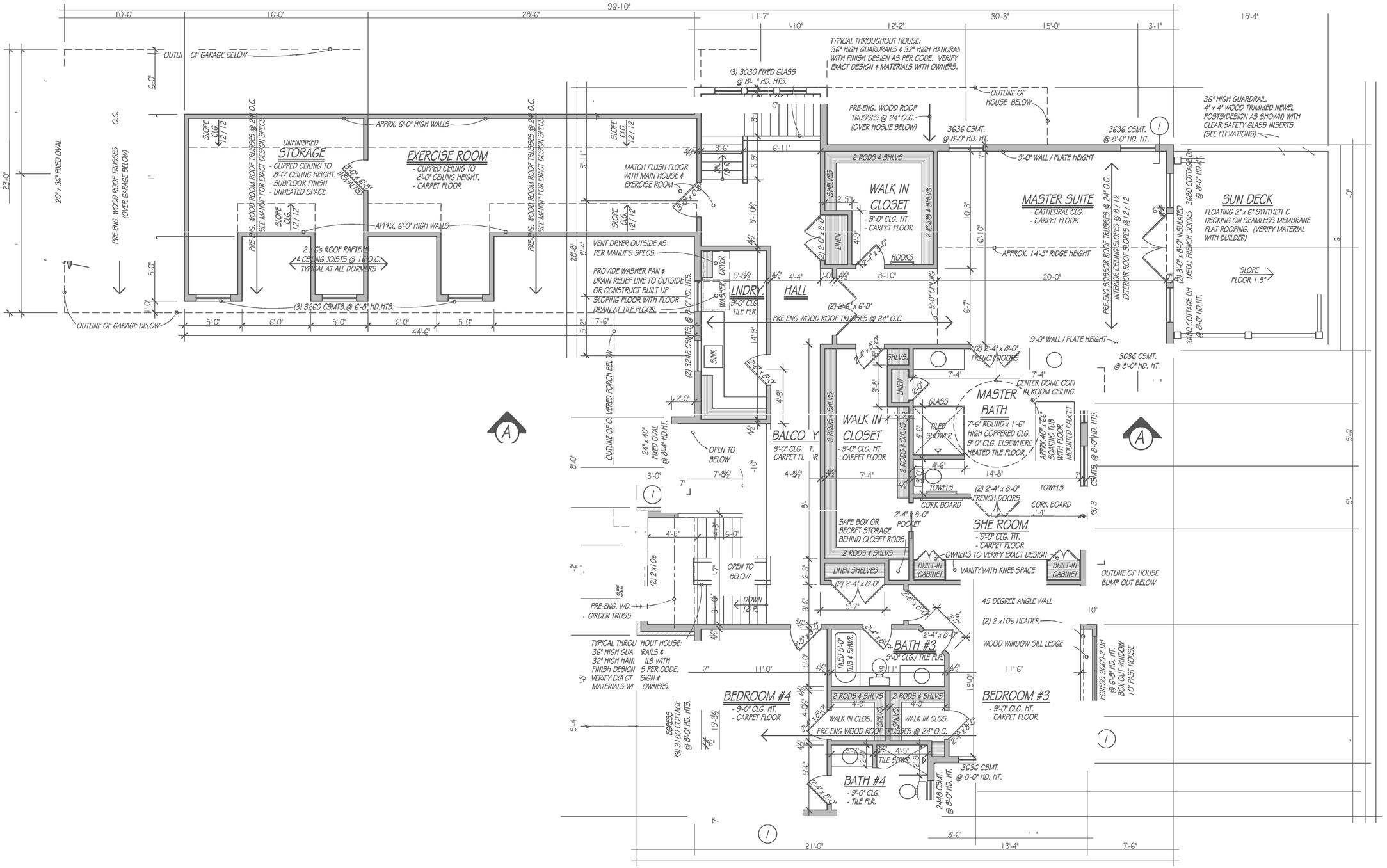
5

FOR NOT CONSTRUCTION





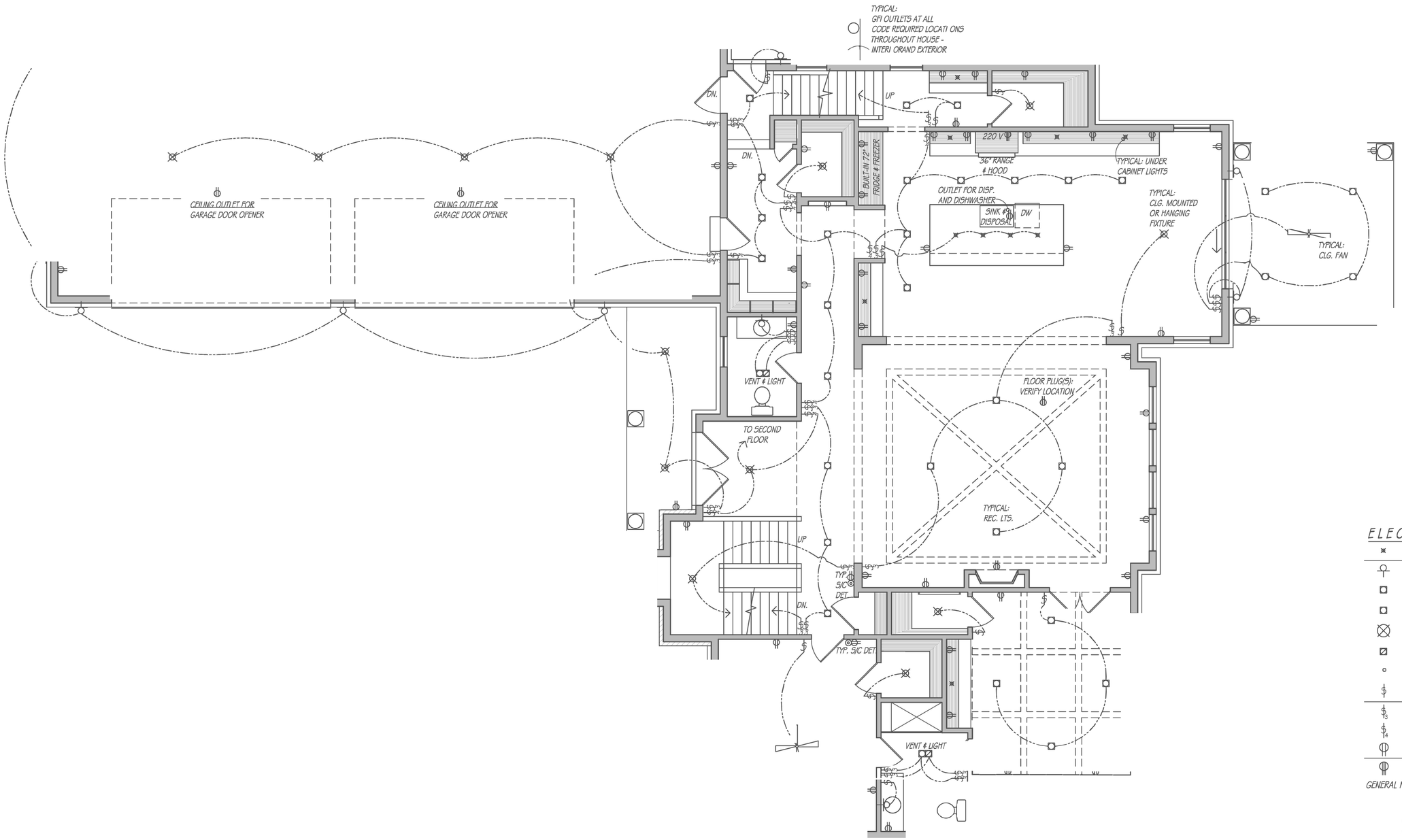
FOR CONSTRUCTION



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION



ELECTRICAL LEGEND

	UNDER-CABINET LIGHTING
	WALL SCONCE
	RECESSED LIGHT
	4" RECESSED LIGHT
	CEILING FIXTURE
	EXHAUST FAN
	STAIR LIGHT
	SINGLE LIGHT SWITCH
	3-WAY LIGHT SWITCH
	4-WAY LIGHT SWITCH
	DUPLEX OUTLET
	220 V DUPLEX OUTLET

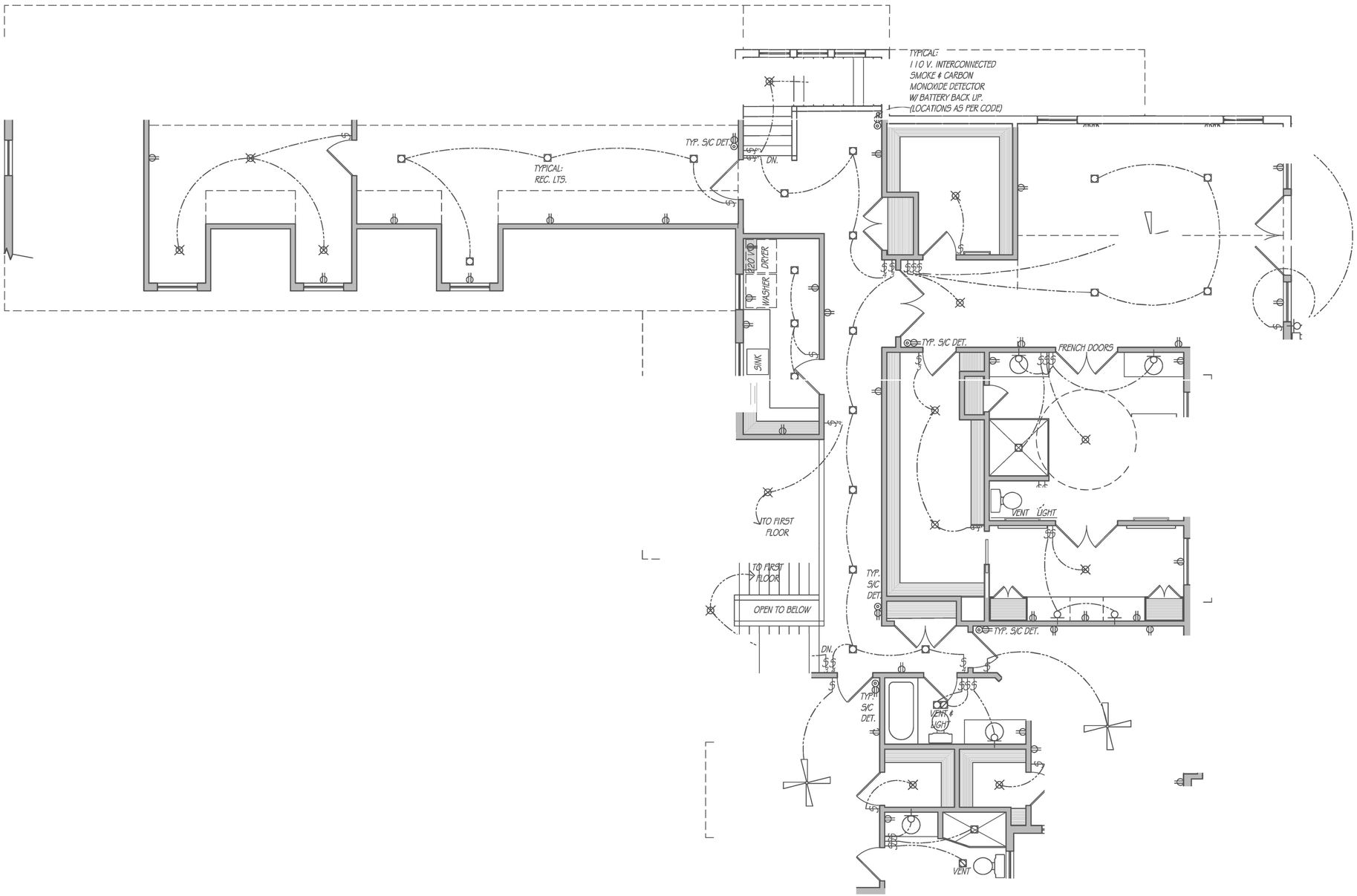
GENERAL NOTES:

TYPICAL:
GFI OUTLETS AT ALL CODE REQUIRED
LOCATIONS THROUGHOUT HOUSE.

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

FOR CONSTRUCTION



ELECTRICAL LEGEND

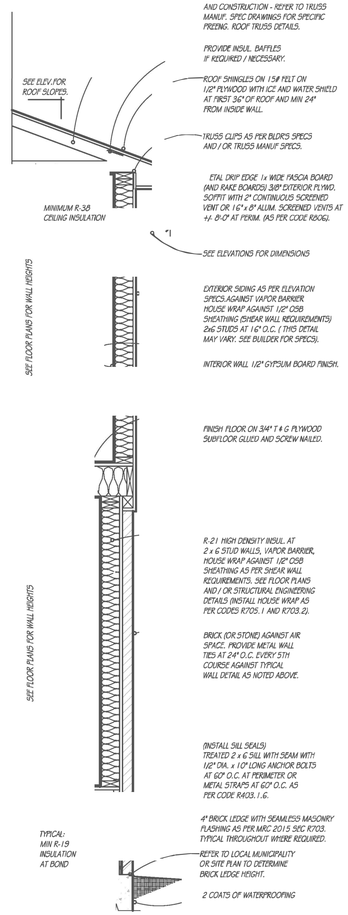
	UNDER-CABINET LIGHTING
	WALL SCONCE
	RECESSED LIGHT
	4" RECESSED LIGHT
	CEILING FIXTURE
	EXHAUST FAN
	STAIR LIGHT
	SINGLE LIGHT SWITCH
	3-WAY LIGHT SWITCH
	4-WAY LIGHT SWITCH
	DUPLEX OUTLET
	220 V DUPLEX OUTLET

GENERAL NOTES:

TYPICAL:
GFI OUTLETS AT ALL CODE REQUIRED LOCATIONS THROUGHOUT HOUSE.

SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



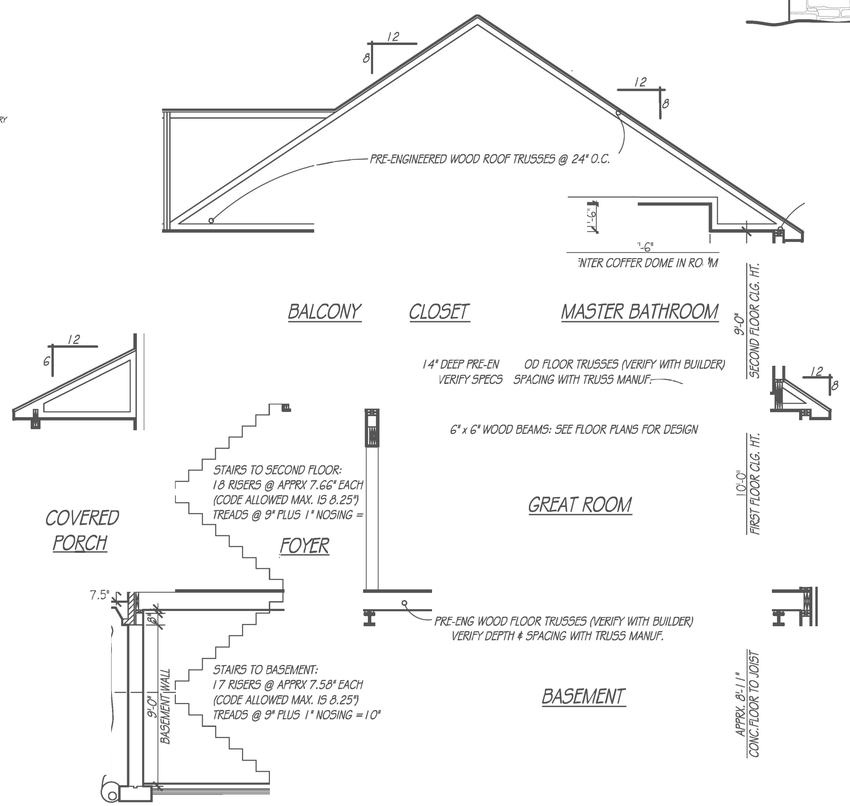
WALL SECTION 1

SCALE: 3/4" = 1'-0"

CONDITIONS & DETAILS MAY VARY

LAKEFRONT ELEVATION

SCALE: 1/4" = 1'-0"



TYPICAL: INSTALL HURRICANE CLIPS THROUGHOUT ALL CONSTRUCTION AS PER MRC 2009 R802. 11. FOLLOW HANGER NAILING & FASTENER SCHEDULE AS PER MANUFS SPECS.

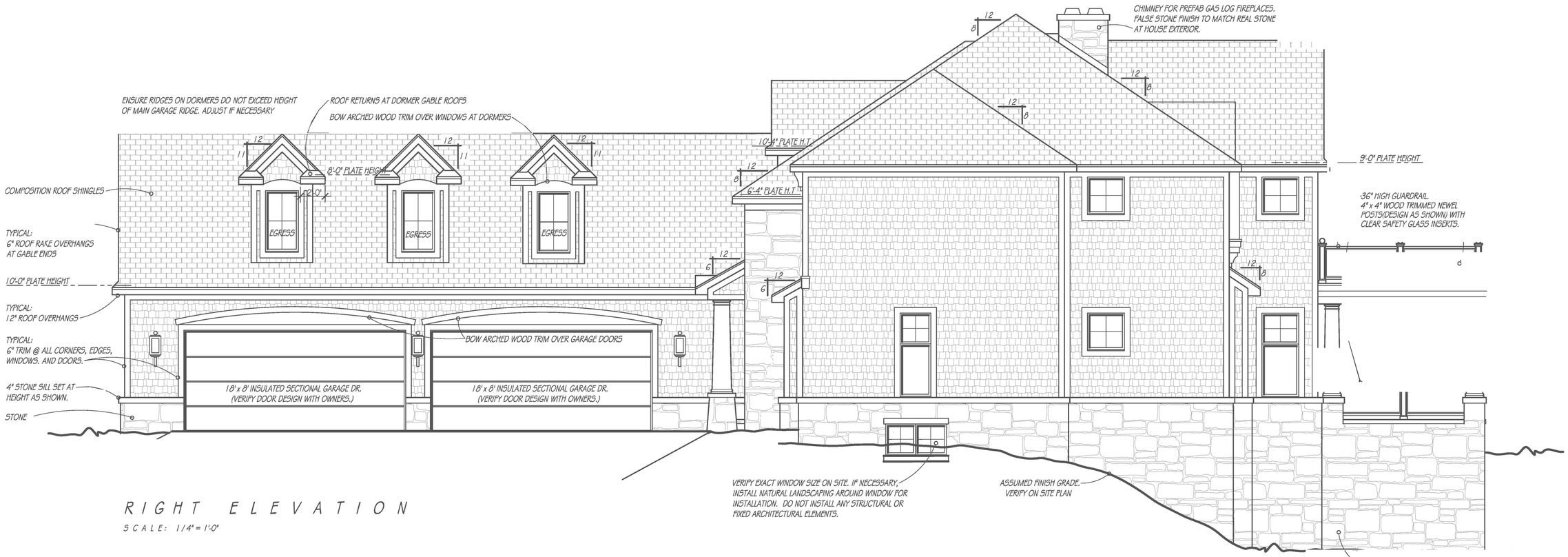
TYPICAL: INSTALL 1/2" PLYWOOD FOR WIND BRACING @ ALL REQUIRED WALLS AS PER CODE REQD.

CROSS SECTION A

SCALE: 1/4" = 1'-0"

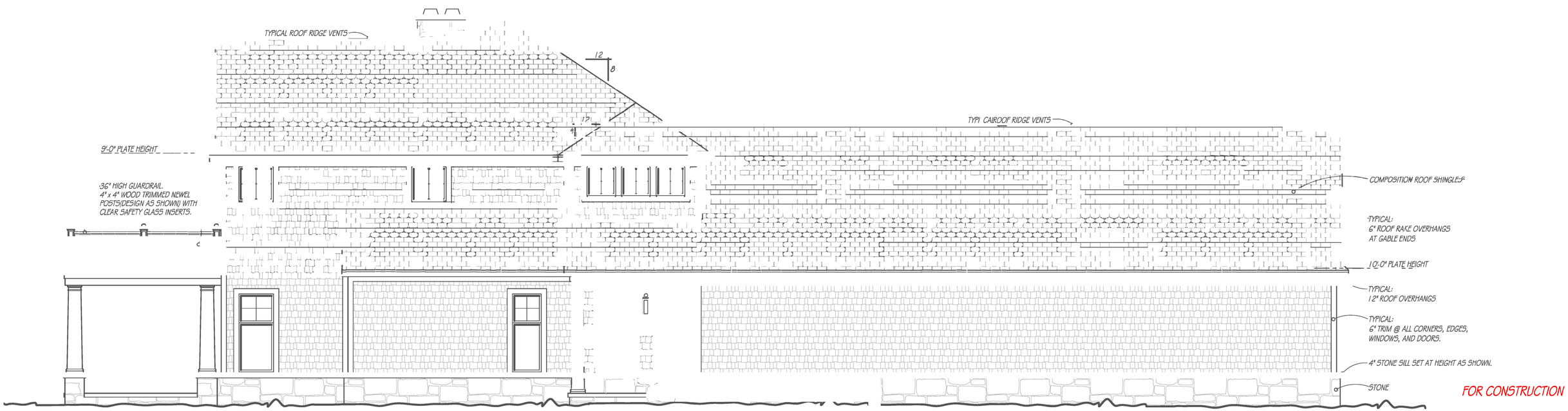
REFER TO OTHER NOTES & DETAILS FOR ADDITIONAL GENERAL NOTES AND CONSTRUCTION INFORMATION.

FOR CONSTRUCTION



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



FOR CONSTRUCTION

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

L A K E F R O N T E L E V A T I O N

S C A L E: 3/8" = 1'-0"

A V E R A G E L A K E F R O N T B U I L D I N G H E I G H T

33'-3" + 43'-6" + 32'-6" + 27'-1" = 139'-4" DIVIDED BY 5 = 34'-10"

FOR CONSTRUCTION

SHEET 10 OF 10